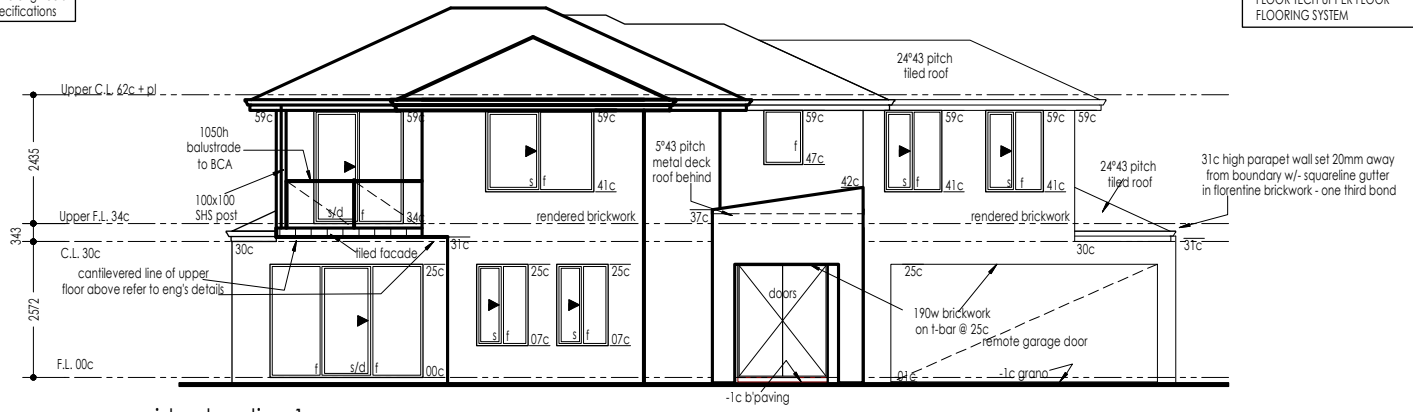


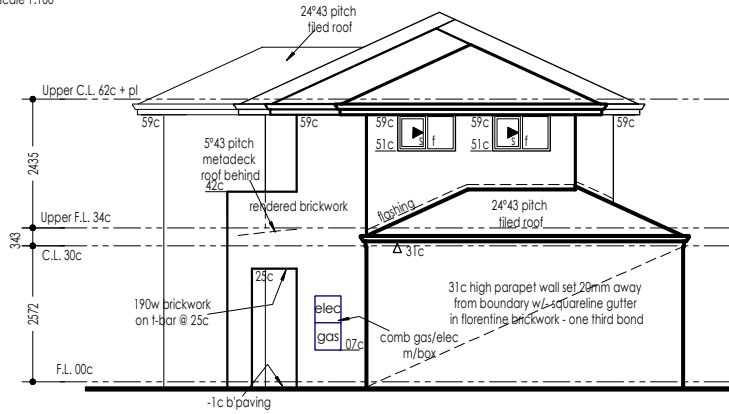
wind classification refer to engineers specifications

Note:
FLOOR TECH UPPER FLOOR FLOORING SYSTEM



side elevation 1

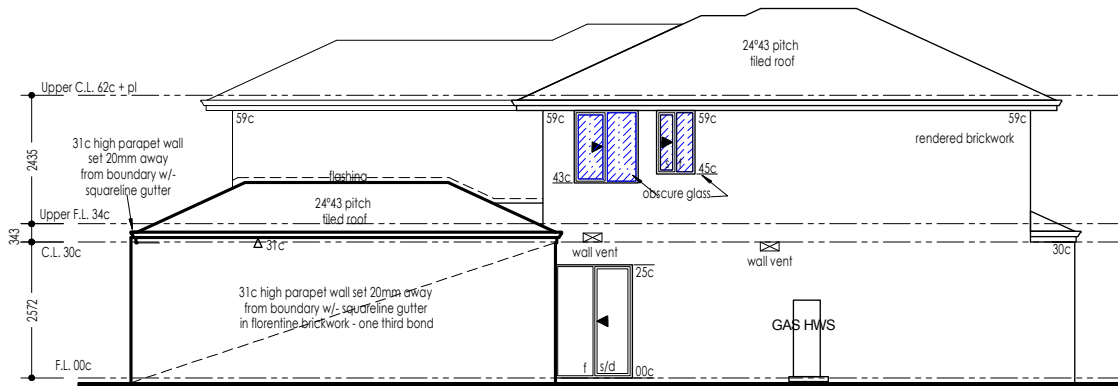
scale 1:100



side elevation 2

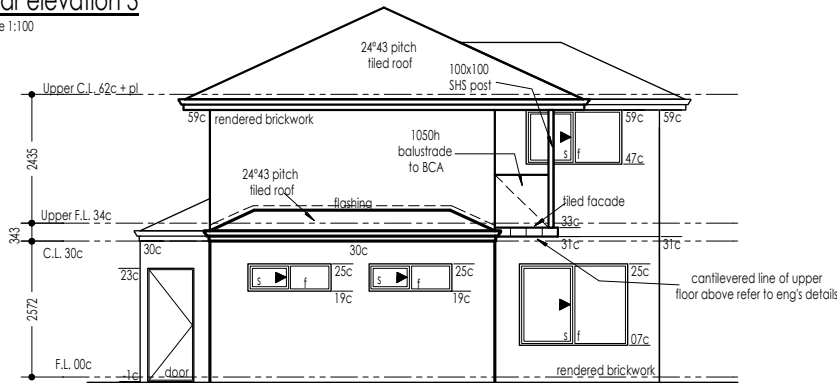
scale 1:100

Note:
Brick paving by client to builder's schedule



rear elevation 3

scale 1:100



front elevation 4

scale 1:100

Elevations

scale 1:100

Elevations

scale 1:100

House type - "Unit 2" strata lot 2

Proposed residence

For:- Emmaus Developments
Lot No:- Lot 126
Bondi Way (Cnr Twilight Mews)
AUBIN GROVE

Note:
All plans & elevations are diagrammatic only and should not be used to scale exact sizes. Brick measurements do not allow for plastering.

Variations

V/O No. Date/Dwn... Checked.

Sheet 11 OF 75

Job No/- 7214

Current Date 28/05/2007

Drawn	Date	Checked
C.C.	28/05/2007	



Registered Builder No. 9032 A.C.N. 059 497 773
level 1/470 Scarborough Beach Road
Osborne Park, WA 6017
P.O. Box 1814, Osborne Park DC WA 6916
Tel (08) 9445 7833 Fax (08) 9445 7933



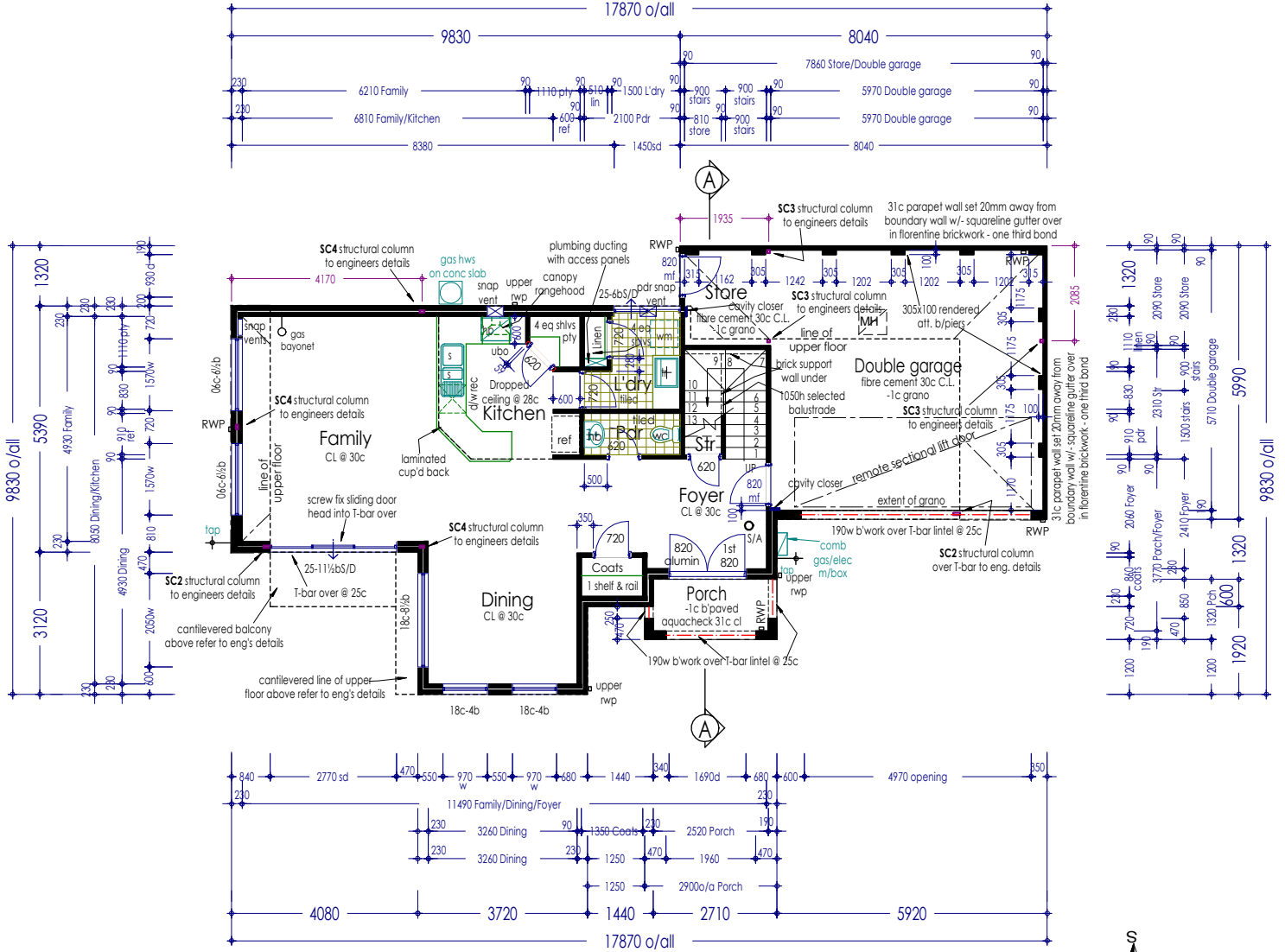
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- Notes
- *Check all dimension on site prior to construction.
 - *Refer to engineers details for all concrete footing, slab and stair details.
 - *2c high clay bricks throughout unless otherwise noted wall thickness shall be:
 - *Internal walls: 90mm
 - *External walls: 230mm (90 50 90)
 - *Roof holding down straps to be built into brickwork at max 1800 centres and fixed over roof rafters.
 - *Parapet walls to be set back MIN 20mm from boundary
 - *Longreach bricks over internal double door and windows longer than 1.6m and/or less than 3c brickwork.
 - *Hardwall plaster internally.
 - *Plaster beads to traffic areas.
 - *Shelf & rail to robes @ 1700 aft.
 - *Final position of ceiling exhaust fans and rainwater pipes (rwp) will be determined on site to suit roof frame members.



Elevation reference.

wind classification refer to engineers specifications



Note:
FLOOR TECH UPPER FLOOR
FLOORING SYSTEM

Owner note:-
Downpipe locations @ quants are
diagramatic only & may vary to
suit roof plumbers requirements.

Note:
Brick paving by client
to builder's schedule

area's	
GROUND FLOOR	: 76.960m ² (40.760m)
FIRST FLOOR	: 90.682m ² (47.240m)
GARAGE	: 40.547m ²
PORCH	: 3.580m ²
BALCONY	: 3.312m ²
TOTAL AREA	: 215.08m²

Ground floor plan
scale 1:100

note! R3.0 insulation throughout house area

Ground floor plan
scale 1:100

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Variations.

V/O No.	Date/Dwn...	Checked.

Sheet **9** OF **75**

Job No/- **7214**

Current Date **28/05/2007**

Drawn	Date	Checked
C.C.	28/05/2007	

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