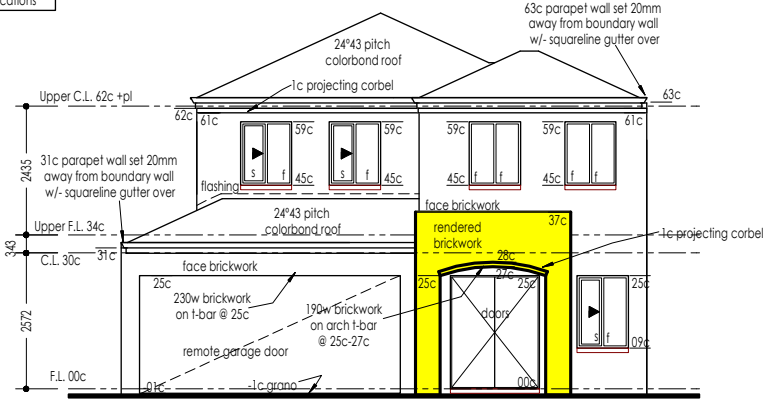


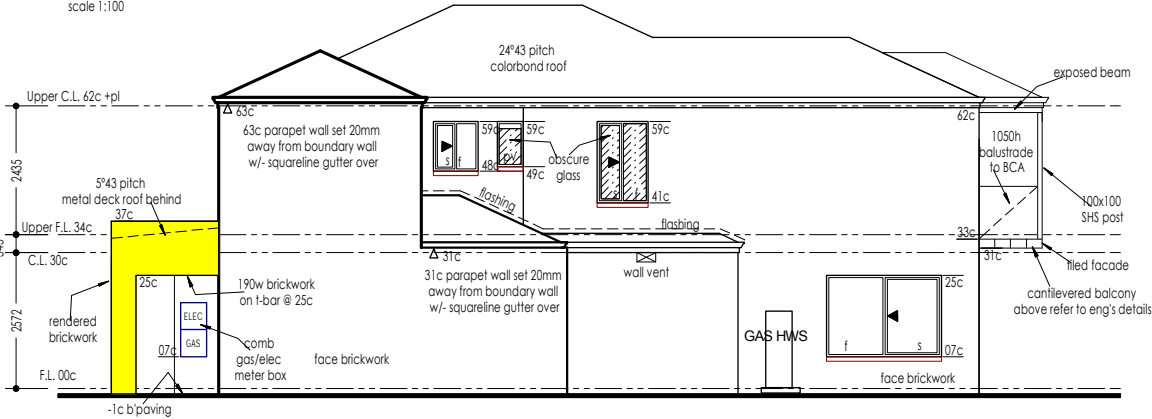
wind classification refer to engineers specifications

Note:
FLOOR TECH UPPER FLOOR FLOORING SYSTEM

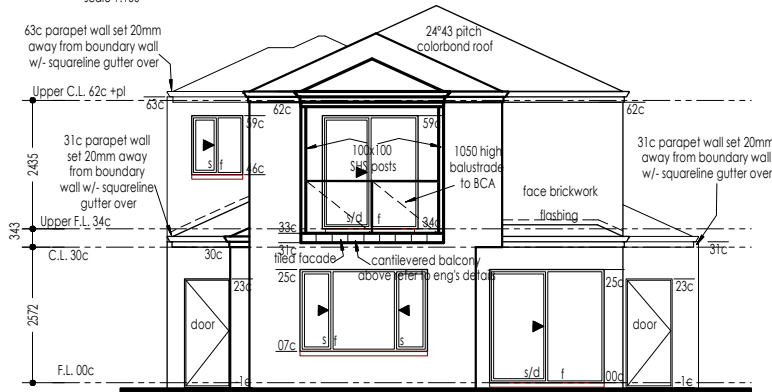


front elevation 1
scale 1:100

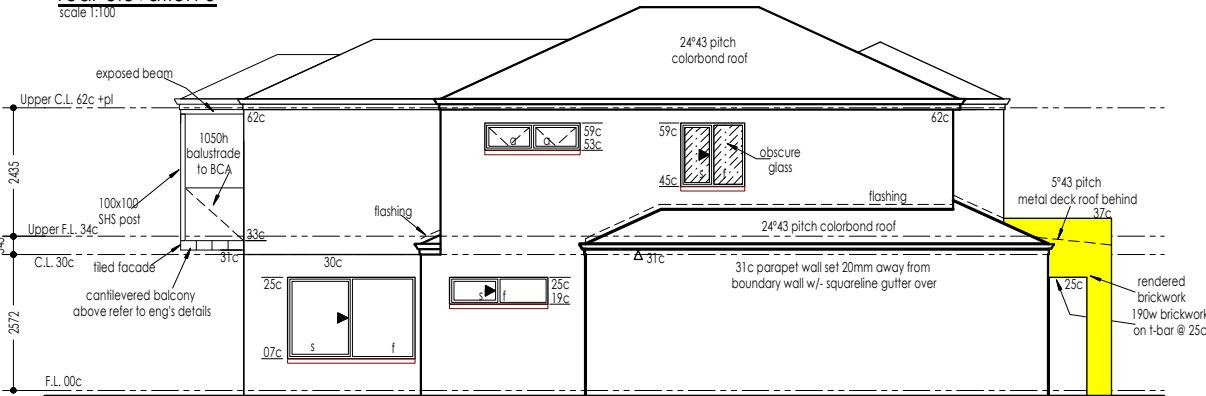
Note:
Brick paving by client to builder's schedule



side elevation 2
scale 1:100



rear elevation 3
scale 1:100



side elevation 4
scale 1:100

Elevations
scale 1:100

Elevations
scale 1:100

House type - "Unit 7" strata lot 7

Variations:
V/O No. Date/Dwn... Checked.

Sheet 51 OF 75

Job No/- 7219

Current Date 28/05/2007

Drawn	Date	Checked
C.C.	28/05/2007	

DANMAR HOMES
Residential Design & Build
Registered Builder No. 9032
Registered Builder No. 9032 A.C.N. 059 497 773
level 1/470 Scarborough Beach Road
Osborne Park, WA 6017
P.O. Box 1814, Osborne Park DC WA 6916
Tel (08) 9445 7833 Fax (08) 9445 7933

Proposed residence
For:- Emmaus Developments
Lot No:- Lot 126
Bondi Way (Cnr Twilight Mews)
AUBIN GROVE

Note:
All plans & elevations are diagrammatic only and should not be used to scale exact sizes. Brick measurements do not allow for plastering.

I WANT IN!
click here to learn more

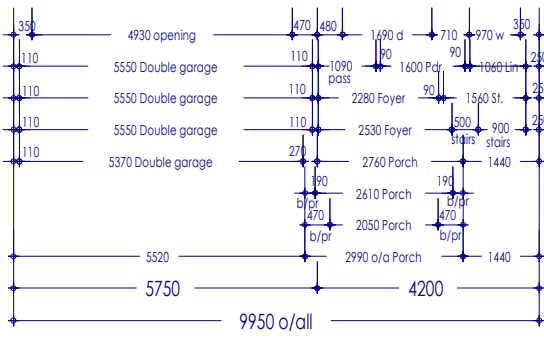
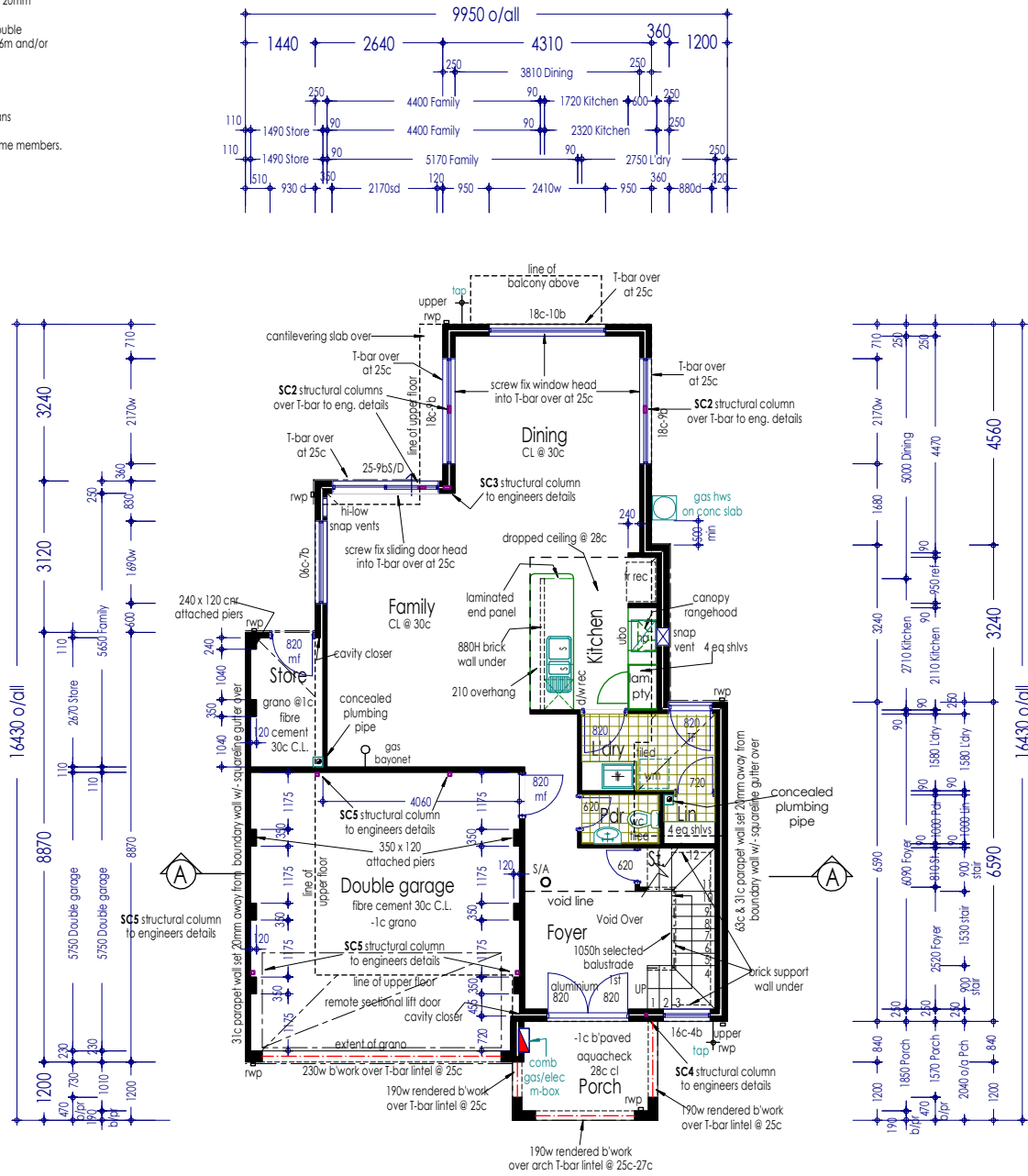
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- Notes
- *Check all dimension on site prior to construction.
 - *Refer to engineers details for all concrete footing, slab and stair details.
 - *Face brickwork throughout unless otherwise noted wall thickness shall be:
 - *Internal walls: 90mm
 - *External walls: 250mm (110 50 90)
 - *Roof holding down straps to be built into brickwork at max 1200 centres and fixed over roof purlins.
 - *Parapet walls to be set back Min 20mm from boundary
 - *Longreach bricks over internal double door and windows longer than 1.6m and/or less than 3c brickwork.
 - *Hardwall plaster internally.
 - *Plaster beads to traffic areas.
 - *Shelf & rail to robes @ 1700 cfl.
 - *Final position of ceiling exhaust fans and rainwater pipes (rwp) will be determined on site to suit roof frame members.

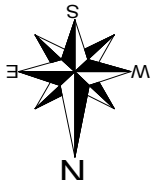


Elevation reference.

wind classification refer to engineers specifications



Note:
Brick paving by client to builder's schedule



area's	
GROUND FLOOR	: 80.820m ² (45.80m)
FIRST FLOOR	: 93.246 ¹ (46.52m)
CARAGE	: 38.486m ²
PORCH	: 5.838m ²
BALCONY	: 2.700m ²
TOTAL AREA	: 221.089m²

note! R3.0 insulation throughout house area

Note:
FLOOR TECH UPPER FLOOR FLOORING SYSTEM

Owner note:-
Downpipe locations @ quarts are diagrammatic only & may vary to suit roof plumbers requirements.

Ground floor plan
scale 1:100

House type - "Unit 7" strata lot 7

Variations.
V/Q No. Date/Dwn... Checked.

Sheet 49 OF 75

Job No/- 7219

Current Date 28/05/2007

Drawn	Date	Checked
C.C.	28/05/2007	

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